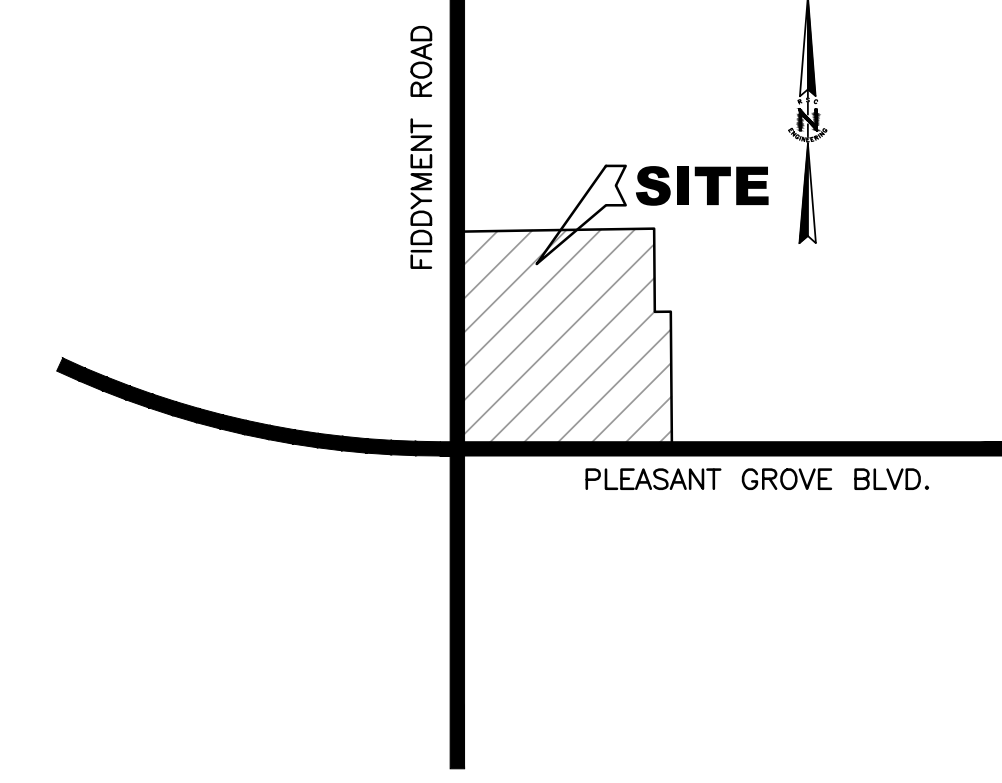


PC EXHIBIT A



VICINITY MAP
NOT TO SCALE

OWNER :

SAFeway, INC.
5918 Stoneridge Mall Road
Pleasanton, CA 94588
ATTN: TODD PARADIS

TENANT :

McDONALD'S
110 N Carpenter St.
Chicago, IL 60607
ATTN: DREW SANCHEZ

APPLICANT :

RSC ENGINEERING, INC.
1420 Rocky Ridge Dr., Suite 150
Roseville, CA 95661
ATTN: TIFFANY WILSON
(916) 788-2884

APN

017-162-049

ACREAGE

0.971± AC (GROSS)
0.895± AC (NET)

GENERAL PLAN DESIGNATION

CC (COMMUNITY COMMERCIAL)

ZONING

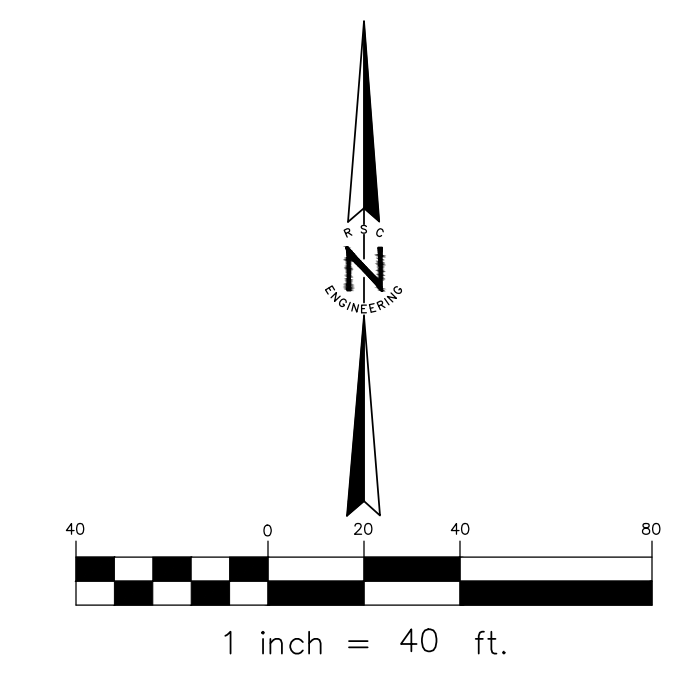
CC/SA
(COMMUNITY COMMERCIAL/SPECIAL AREA)

UTILITY PROVIDERS:

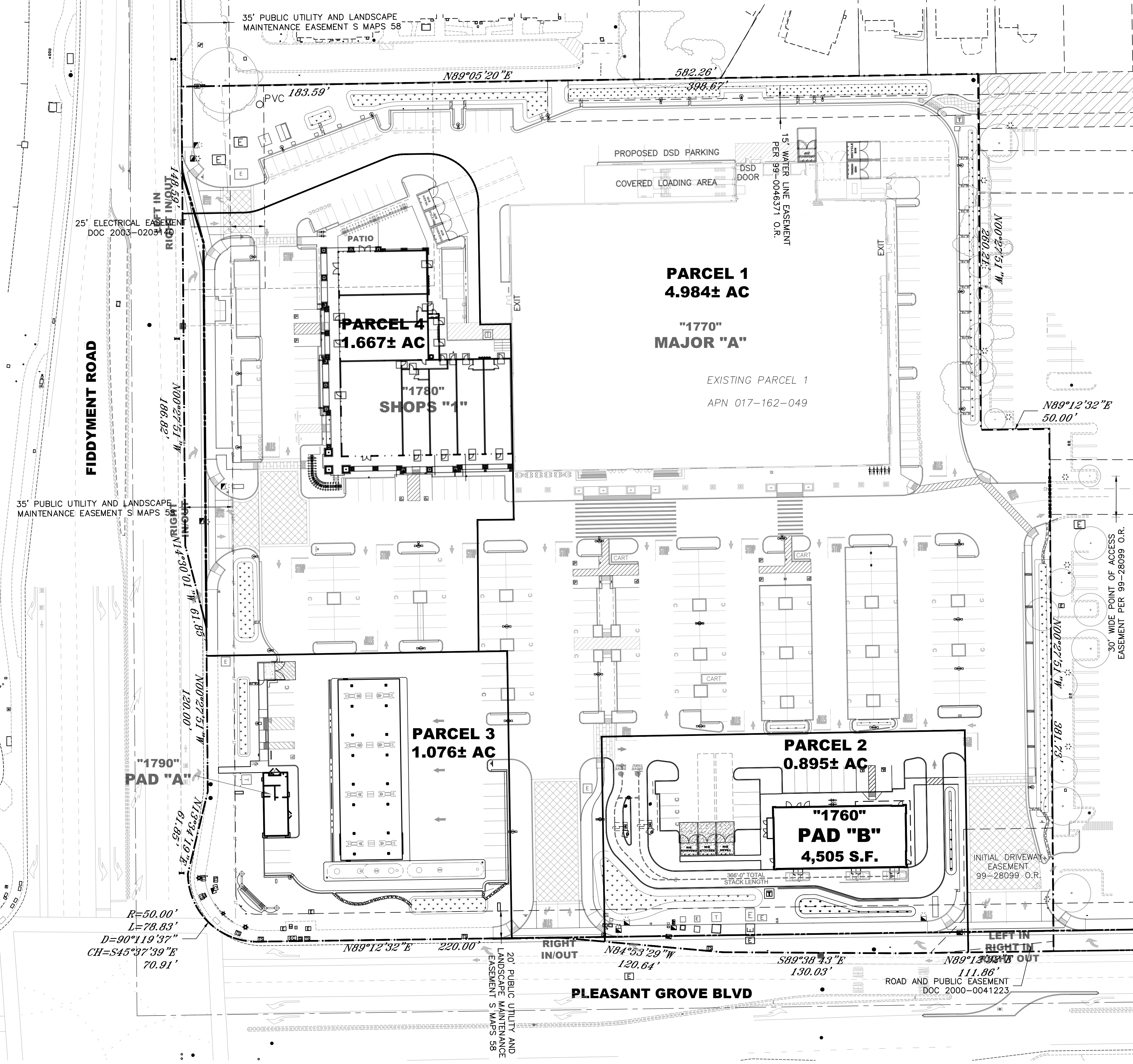
- WATER: ROSEVILLE ENVIRONMENTAL UTILITIES
- SEWER: ROSEVILLE ENVIRONMENTAL UTILITIES
- DRAINAGE: ROSEVILLE ENVIRONMENTAL UTILITIES
- FIRE: ROSEVILLE FIRE DEPARTMENT
- ELECTRIC: ROSEVILLE ELECTRIC
- GAS: PG&E

LEGEND

- EXISTING BOUNDARY LINE
- PROPOSED PARCEL LINE
- - - PROPOSED RIGHT OF WAY
- - - EXISTING EASEMENTS
- EV PROPOSED ELECTRIC VEHICLE PARKING



CITY OF ROSEVILLE APPROVAL



PARKING SUMMARY:

PARCEL	BUILDING SIZE (SF)	PARKING RATIO (REQ.)	STANDARD STALLS	COMPACT STALLS	ACCESSIBLE STALLS	LEVEL 3 EV STALLS	LEVEL 2 EV STALLS	GOLF CARTS	PROPOSED PARKING	REQUIRED PARKING
1	55,592±	1/300	131	29	6	12	2	9	187	185
2	4,505±	1/100	12	3	2	0	0	0	17	45
3	830±	5 STALLS	20	1	1	0	0	0	22	5
4	9,750± (RETAIL)	1/300	22	2	2	0	2	3	33	33
	4,200± (FOOD)	1/100	39	7	2	0	0	3	51	42
TOTAL	74,877±		224	42	13	12	4	15	310	310

NOTES:

1. CROSS ACCESS AND PARKING AGREEMENT TO BE RECORDED
2. EV STALLS ARE BASED ON OVERALL SHOPPING CENTER PROJECT, NOT PARCEL BY PARCEL.
- LEVEL 3 EV CHARGERS REQUIRED: 12
- LEVEL 2 EV CHARGERS REQUIRED: 4

McDONALD'S

REV.	DATE	DESCRIPTION



RSC ENGINEERING
1420 Rocky Ridge Drive, Suite 150
Roseville, CA 95661
Ph: 916.788.2884 Fax: 916.788.4408

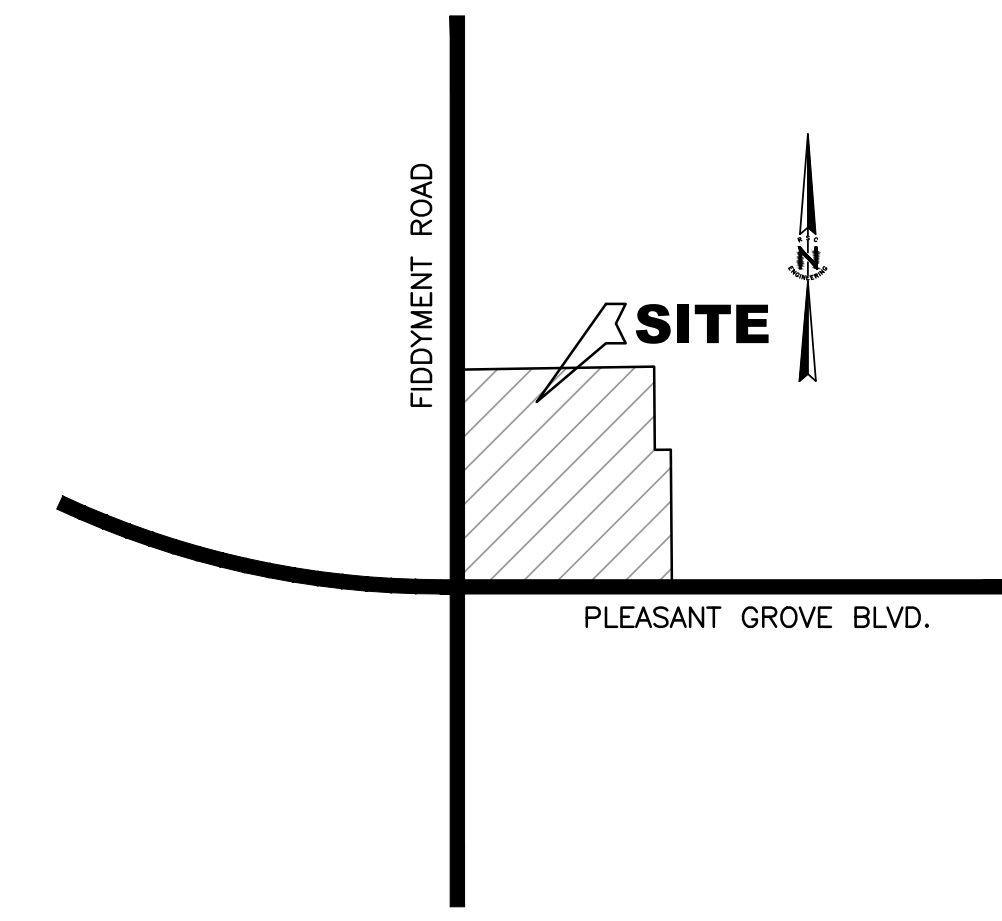
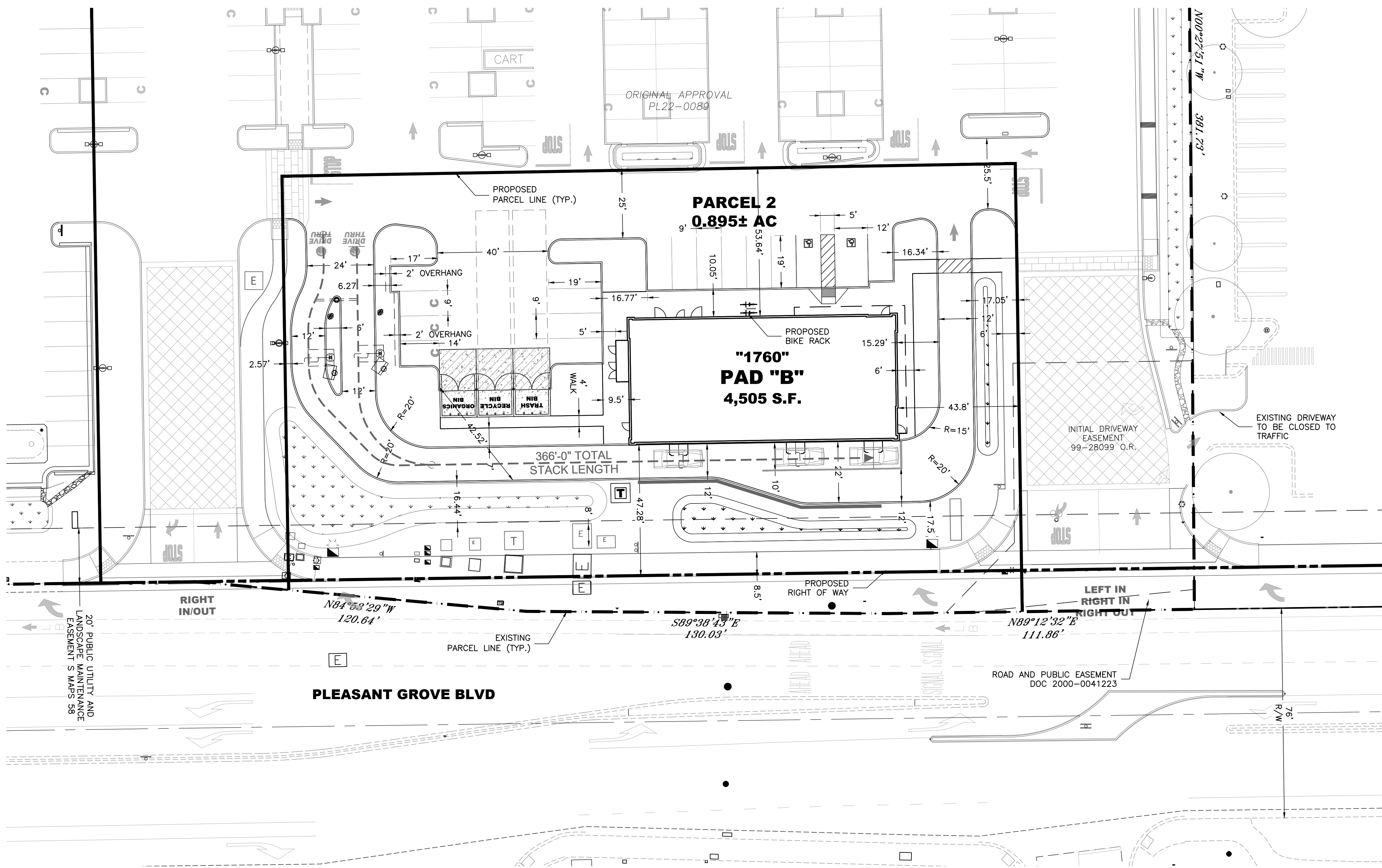
PROJECT NO:	321-001
DRAWN BY:	RSC Eng
CHECKED BY:	RSC Eng
DESIGNED BY:	RSC Eng

CONDITIONAL USE PERMIT MODIFICATION FOR WEST ROSEVILLE MARKETPLACE McDonald's (Pad B/Parcel 2)
1760 PLEASANT GROVE BLVD.
ROSEVILLE, CA 95678

SHEET TITLE
OVERALL SITE PLAN

SHEET NO.
SP1
1 OF 4

DATE: AUGUST 3, 2023



VICINITY MAP
NOT TO SCALE

OWNER :

SAFeway, INC.
5918 Stoneridge Mall Road
Pleasanton, CA 94588
ATTN: TODD PARADIS

TENANT :

McDONALD'S
110 N Carpenter St.
Chicago, IL 60607
ATTN: DREW SANCHEZ

APPLICANT :

RSC ENGINEERING, INC.
1420 Rocky Ridge Drive, Suite 150
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ATTN: TIFFANY WILSON
(916) 788-2884

APN

017-162-049

ACREAGE

0.971± AC (GROSS)
0.895± AC (NET)

GENERAL PLAN DESIGNATION

CC (COMMUNITY COMMERCIAL)

ZONING

CC/SA
(COMMUNITY COMMERCIAL/SPECIAL AREA)

UTILITY PROVIDERS:

- WATER: ROSEVILLE ENVIRONMENTAL UTILITIES
- SEWER: ROSEVILLE ENVIRONMENTAL UTILITIES
- DRAINAGE: ROSEVILLE ENVIRONMENTAL UTILITIES
- FIRE: ROSEVILLE FIRE DEPARTMENT
- ELECTRIC: ROSEVILLE ELECTRIC
- GAS: PG&E

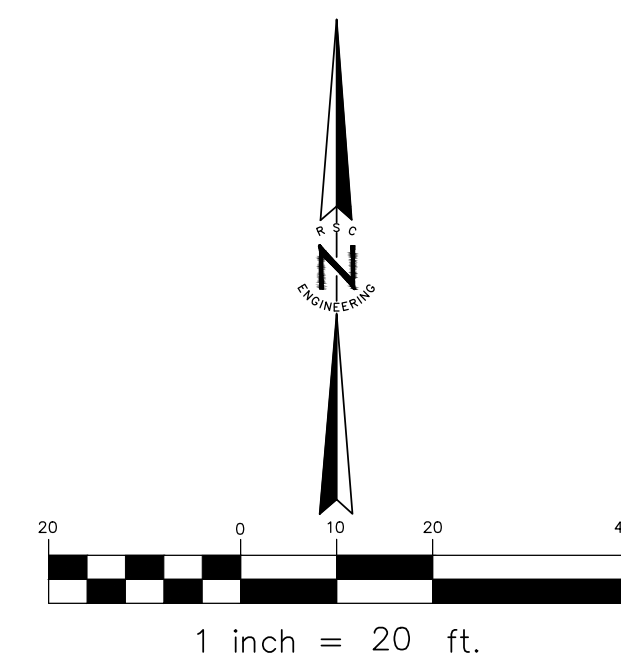
PARKING SUMMARY:

PARCEL	BUILDING SIZE (SF)	PARKING RATIO (REQ.)	STANDARD STALLS	COMPACT STALLS	ACCESSIBLE STALLS	LEVEL 3 EV STALLS	LEVEL 2 EV STALLS	GOLF CARTS	PROPOSED PARKING	REQUIRED PARKING
1	55,592±	1/300	131	29	6	12	2	9	187	185
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TOTAL	74,877±		224	42	13	12	4	15	310	310

- NOTES:**
- CROSS ACCESS AND PARKING AGREEMENT TO BE RECORDED
 - EV STALLS ARE BASED ON OVERALL SHOPPING CENTER PROJECT, NOT PARCEL BY PARCEL.
 - LEVEL 3 EV CHARGERS REQUIRED: 12
 - LEVEL 2 EV CHARGERS REQUIRED: 4

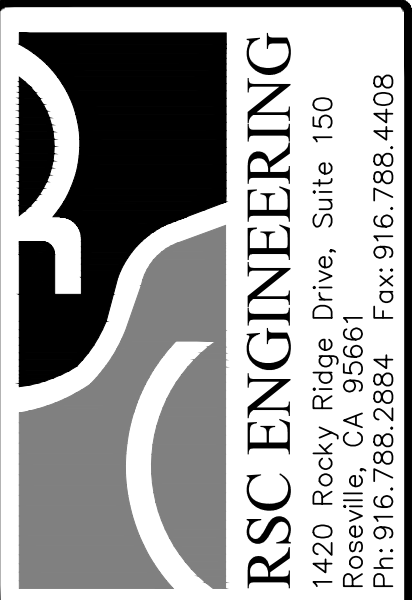
LEGEND

- EXISTING BOUNDARY LINE
- PROPOSED PARCEL LINE
- PROPOSED RIGHT OF WAY
- EXISTING EASEMENTS
- EV PROPOSED ELECTRIC VEHICLE PARKING



McDONALD'S

REV	DATE	DESCRIPTION



PROJECT NO:	321-001
DRAWN BY:	RSC Eng
CHECKED BY:	RSC Eng
DESIGNED BY:	RSC Eng

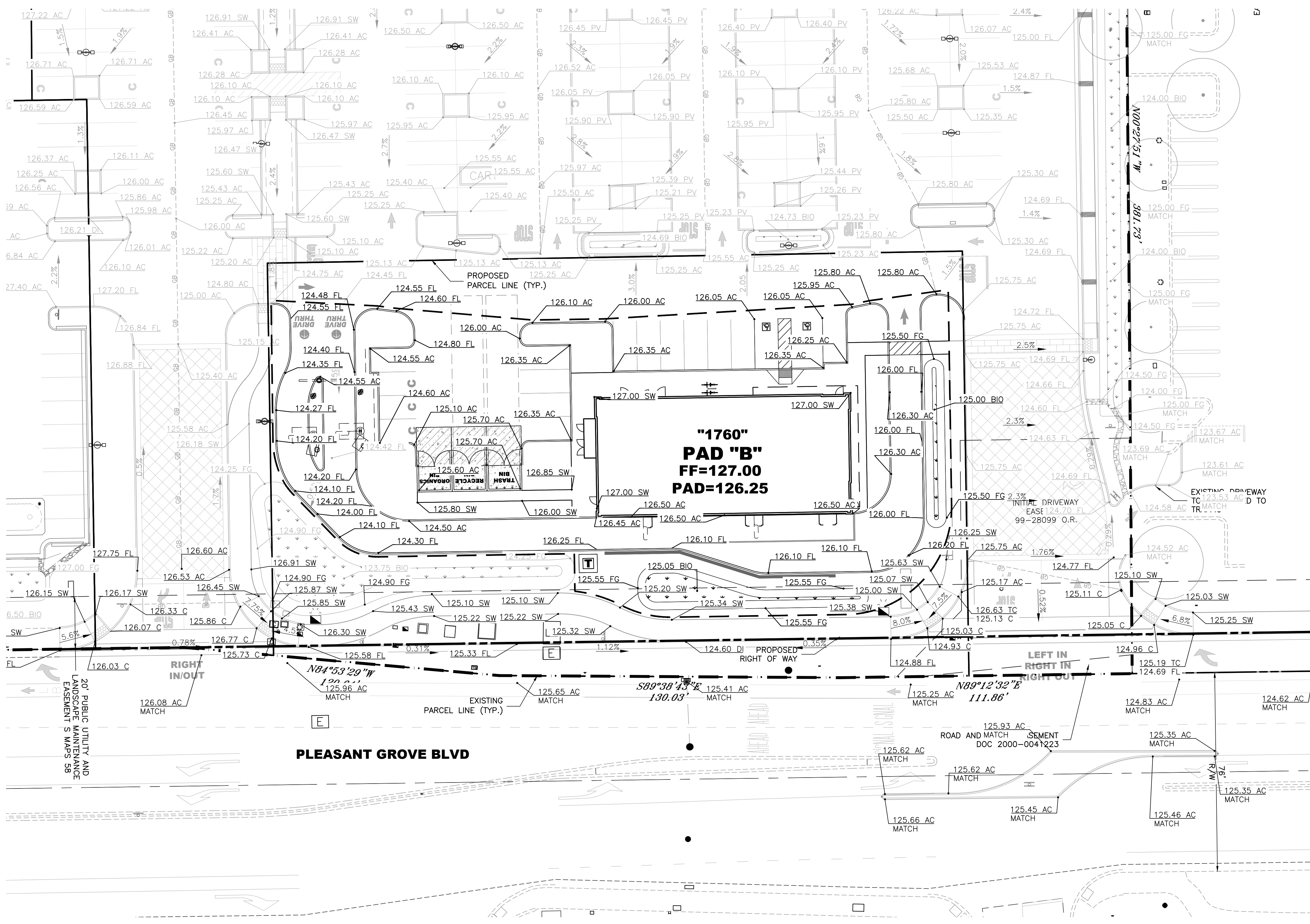
CONDITIONAL USE PERMIT MODIFICATION FOR WEST ROSEVILLE MARKETPLACE McDonald's (Pad B/Parcel 2)
1760 PLEASANT GROVE BLVD.
ROSEVILLE, CA 95678

SHEET TITLE
PRELIMINARY SITE PLAN

SHEET NO.
SP2
2 OF 4

DATE: AUGUST 3, 2023

CITY OF ROSEVILLE APPROVAL



LEGEND

- EXISTING BOUNDARY LINE
- PROPOSED PARCEL LINE
- PROPOSED RIGHT OF WAY
- EXISTING EASEMENT
- 100.00 FL EXISTING GRADE
- 125 EXISTING CONTOUR
- LIMIT OF WORK/PROPOSED IMPROVEMENTS
- 100.00 FL PROPOSED GRADE

McDONALD'S

REV	DATE	DESCRIPTION



RSC ENGINEERING
 1420 Rocky Ridge Drive, Suite 150
 Roseville, CA 95661
 Ph: 916.788.2884 Fax: 916.788.4408

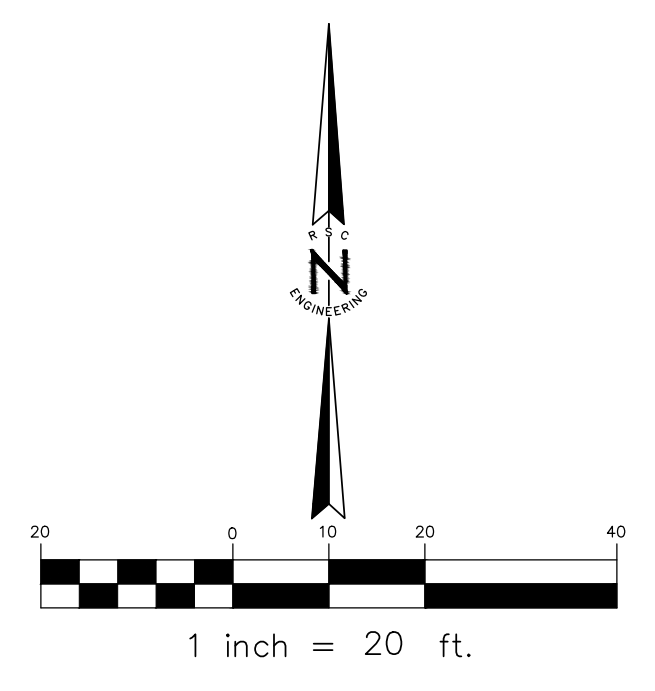
PROJECT NO: 321-001
 DRAWN BY: RSC Eng
 CHECKED BY: RSC Eng
 DESIGNED BY: RSC Eng

**CONDITIONAL USE PERMIT MODIFICATION
 FOR
 WEST ROSEVILLE MARKETPLACE
 McDonald's (Pad B/Parcel 2)
 1760 PLEASANT GROVE BLVD.
 ROSEVILLE, CA 95678**

SHEET TITLE
**PRELIMINARY
 GRADING
 PLAN**

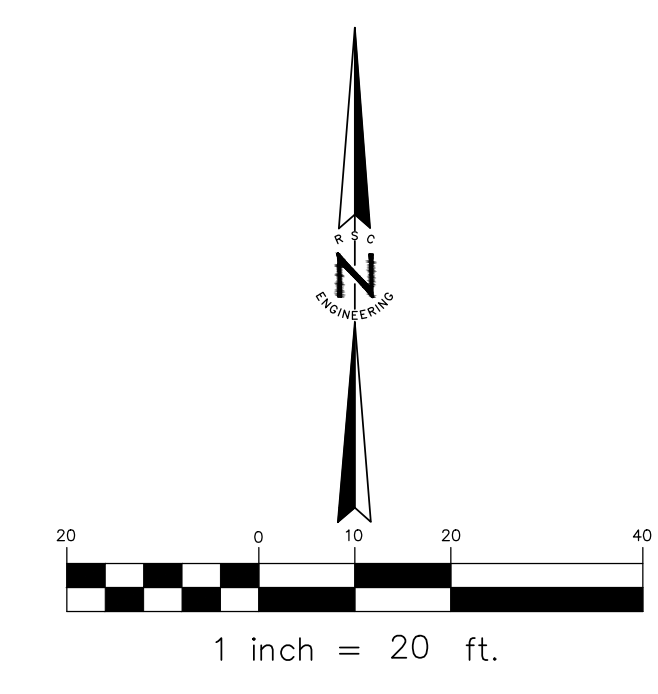
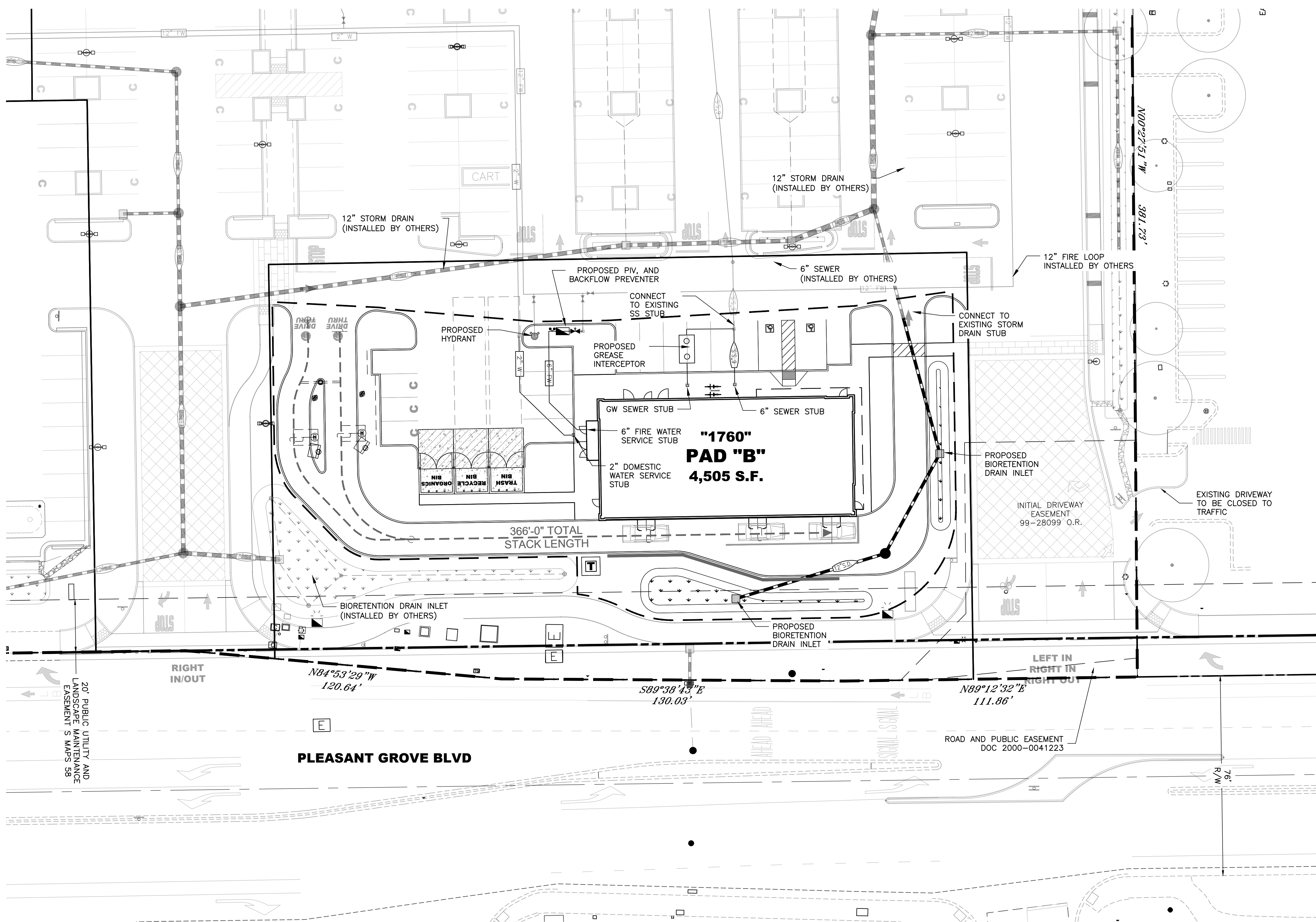
SHEET NO.
GR1
 3 OF 4

DATE: AUGUST 3, 2023



CITY OF ROSEVILLE APPROVAL

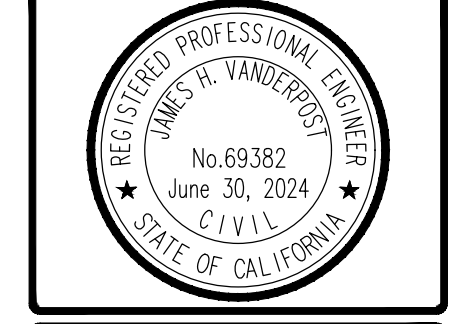
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 User: jrvandenberg
 Date: 8/3/2023 12:20:00 PM
 Plot Date: Aug 03, 2023 12:20:00 PM



LEGEND	
8" S.S.	PROPOSED SANITARY SEWER
8" S.S.	EXISTING SANITARY SEWER
12" S.D.	PROPOSED STORM DRAIN
12" S.D.	EXISTING STORM DRAIN
4" DW	PROPOSED DOMESTIC WATER LINE
12" W	EXISTING WATER LINE
12" FW	PROPOSED FIRE SERVICE
12" FW	PROPOSED WATER METER
12" FW	PROPOSED FIRE DEPARTMENT CONNECTION ASSEMBLY
12" FW	PROPOSED FIRE HYDRANT
	PROPOSED BIORETENTION STORM WATER PLANTER
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN INLET
	EXISTING PROPERTY LINE
	EXISTING P.U.E.
	PROPOSED PARCEL LINE
	PROPOSED RIGHT OF WAY
	LIMIT OF WORK/ PROPOSED IMPROVEMENTS

McDONALD'S

REV.	DATE	DESCRIPTION



RSC ENGINEERING
 1420 Rocky Ridge Drive, Suite 150
 Roseville, CA 95661
 Ph: 916.788.2884 Fax: 916.788.4408

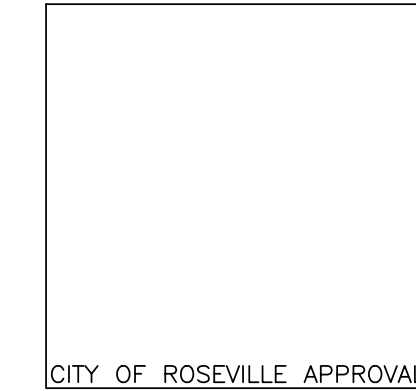
PROJECT NO: 321-001
 DRAWN BY: RSC Eng
 CHECKED BY: RSC Eng
 DESIGNED BY: RSC Eng

CONDITIONAL USE PERMIT MODIFICATION FOR WEST ROSEVILLE MARKETPLACE McDonald's (Pad B/Parcel 2)
 1760 PLEASANT GROVE BLVD.
 ROSEVILLE, CA 95678

SHEET TITLE
PRELIMINARY UTILITY PLAN

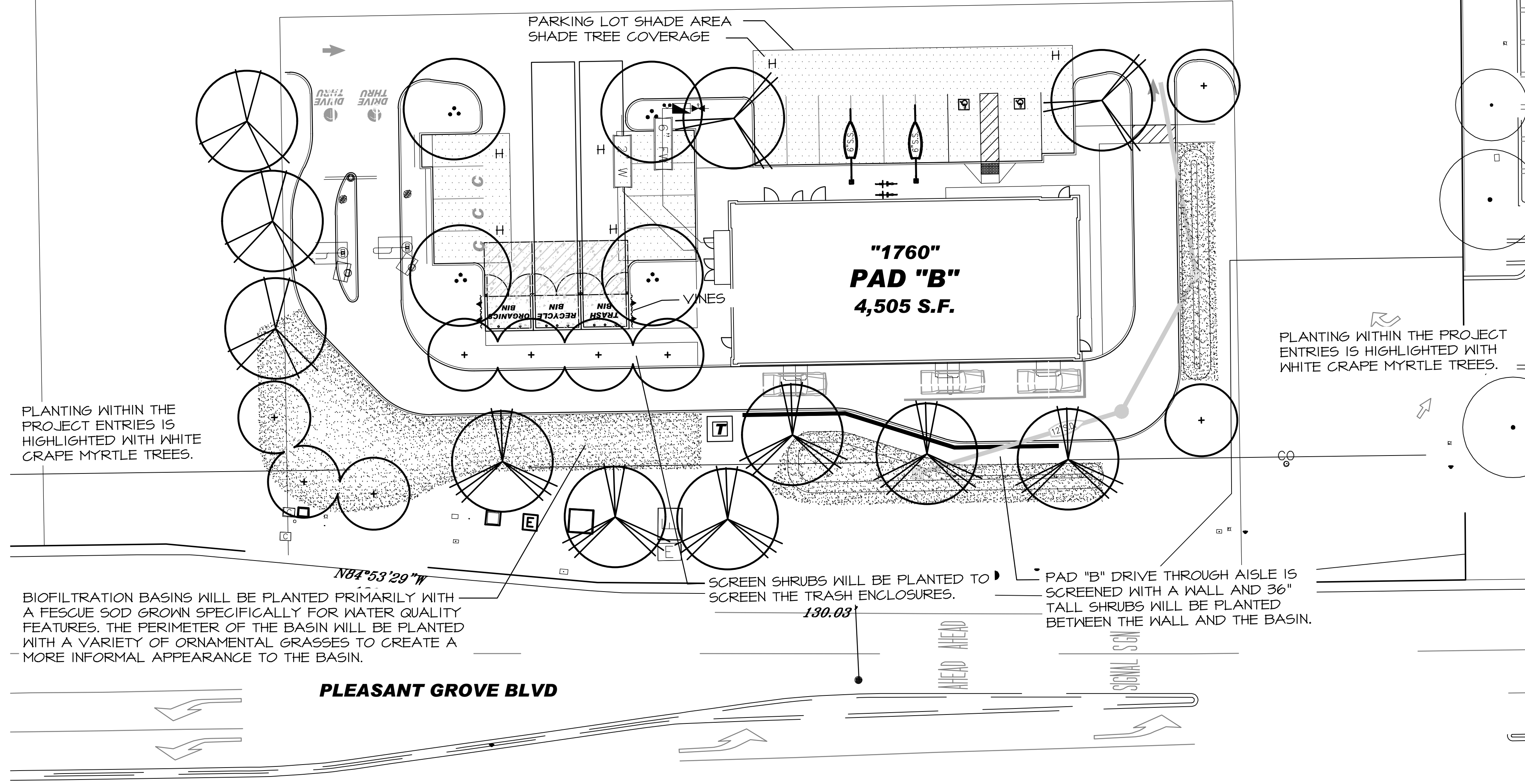
SHEET NO.
UT1
 4 OF 4

DATE: AUGUST 3, 2023



DRAWING: P:\321-001\Permitting\Construction\321001_UT1.dwg
 USER: JRVANDENBERG
 PLOT DATE: Aug 03, 2023 11:52:54 AM

SHRUBS AND GROUND COVER WILL BE INSTALLED IN ALL PLANTER AREAS. REFER TO PLANT SCHEDULE FOR POTENTIAL PLANT VARIETIES.
A 3" LAYER OF BARK MULCH WILL BE INSTALLED IN ALL PLANTERS UPON COMPLETION OF PLANTING.



PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	MULCH	
	LAG NAT	Lagerstroemia indica x fauriei 'Natchez' / Natchez Crape Myrtle	15 gal	L	
	PIS KEI	Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache	24" box	L	
	PLA COL	Platanus x acerifolia 'Columbia' / Columbia London Plane Tree	15 gal	M	
	ULM DRA	Ulmus parvifolia 'Drake' / Drake Lacebark Elm	15 gal	L	
	ZEL SER	Zelkova serrata / Sawleaf Zelkova	15 gal	L	
POTENTIAL SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	MULCH	
	BER ATR	Berberis thunbergii 'Atropurpurea' / Red Leaf Japanese Barberry	5 gal	L	
	CAL LIN	Callistemon viminalis 'Little John' / Little John Weeping Bottlebrush	5 gal	L	
	CIS HMI	Cistus x hybridus 'Mickle' / Mickle Rockrose	5 gal	L	
	GRE NOE	Grevillea x 'Noelii' / Noel Grevillea	5 gal	L	
	MAH SOF	Mahonia eurybracteata 'Soft Caress' / Mahonia Soft Caress	5 gal	L	
	NAN COM	Nandina domestica 'Compacta' / Dwarf Heavenly Bamboo	5 gal	L	
	NAN HAR	Nandina domestica 'Harbour Dwarf' / Harbour Dwarf Heavenly Bamboo	5 gal	L	
	PRU BRI	Prunus caroliniana 'Monus' TM / Bright N Tight Carolina Laurel Cherry	5 gal	L	
	RHA EVE	Rhamnus californica 'Eve Case' / California Coffeeberry	5 gal	L	
	RHA JAC	Rhaphiolepis indica 'Jack Evans' / Indian Hawthorn	5 gal	L	
	ROS WHI	Rosa x 'Noaschnee' TM / Flower Carpet White Groundcover Rose	2 gal	L	
POTENTIAL GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	MULCH	
	CAL KAR	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	L	
	LOM LON	Lomandra longifolia 'Platinum Beauty' / Mat Rush	1 gal	L	
	MUH REG	Muhlenbergia capillaris 'Regal Mist' / Regal Mist Pink Muhly Grass	1 gal	L	
	MUH RIG	Muhlenbergia rigens / Deer Grass	1 gal	L	
POTENTIAL VINES	CODE	BOTANICAL / COMMON NAME	SIZE	MULCH	
	FIC PUM	Ficus pumila / Creeping Fig	5 gal	L	
POTENTIAL GROUND COVERS	CODE	BOTANICAL / COMMON NAME	SIZE	SPACING	MULCH
	ARC EME	Arctostaphylos uva-ursi 'Emerald Carpet' / Kinnikinnick	1 gal	36" o.c.	L
	TRA JAS	Trachelospermum jasminoides / Chinese Star Jasmine	1 gal	24" o.c.	L
SEED/SOD	CODE	BOTANICAL / COMMON NAME	SIZE	SPACING	
	TUR BIO	Turf Sod Biofiltration Sod / Drought Tolerant Grass Blend	sod	M	

PLANTING WITHIN THE PROJECT ENTRIES IS HIGHLIGHTED WITH WHITE CRAPE MYRTLE TREES.

PLANTING WITHIN THE PROJECT ENTRIES IS HIGHLIGHTED WITH WHITE CRAPE MYRTLE TREES.

BIOFILTRATION BASINS WILL BE PLANTED PRIMARILY WITH A FESCUE SOD GROWN SPECIFICALLY FOR WATER QUALITY FEATURES. THE PERIMETER OF THE BASIN WILL BE PLANTED WITH A VARIETY OF ORNAMENTAL GRASSES TO CREATE A MORE INFORMAL APPEARANCE TO THE BASIN.

SCREEN SHRUBS WILL BE PLANTED TO SCREEN THE TRASH ENCLOSURES.

PAD "B" DRIVE THROUGH AISLE IS SCREENED WITH A WALL AND 36" TALL SHRUBS WILL BE PLANTED BETWEEN THE WALL AND THE BASIN.

PLANTING STATEMENT

The proposed landscape plant palette consists of low water use shrubs, groundcover, trees, and ornamental grasses that are considered low maintenance and hardy. Choice of plants is guided by considerations of solar exposure and climate conditions of the site. Plant selection aims for longevity by selecting plants that are long lived varieties of trees, shrubs, groundcover, and grasses.

Shrubs and groundcover are minimum #1 size. Trees are minimum #15 size. Plant materials shall be spaced to provide substantial cover, but also to allow adequate room to mature into their natural form and ultimate size without required pruning.

IRRIGATION STATEMENT

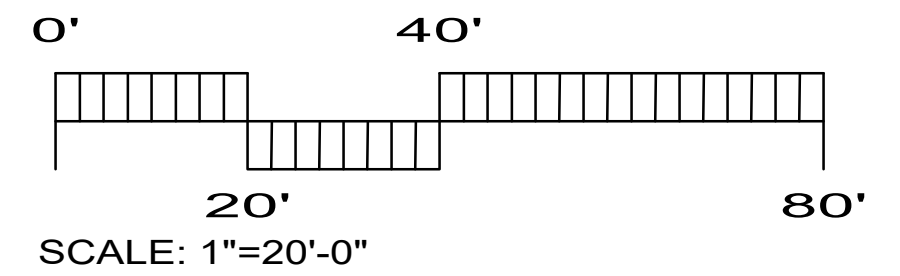
The irrigation system will be serviced by a new point of connection. The irrigation design will consist of low volume point source drip irrigation. Proposed trees shall utilize bubbler irrigation to encourage deep root watering. The overall irrigation system will be designed with a smart irrigation controller. A weather sensor will be used to automatically adjust duration of application in accordance with recent weather conditions based on evapotranspiration. Maximum water allowance will be determined by State code. To also be consistent with the planting design, the irrigation design will create separate irrigation stations by hydrozone, locating plants of different water and solar needs into groups.

PARKING LOT SHADE CALCULATIONS

TREE SYMBOL	100%	75%	50%	25%
ULM. DRA.			2 (481) = 962	
ZEL. SER.			4 (481) = 1,924	
PARKING LOT AREA	4,382 s.f.			
SHADE REQUIRED (50%)	2,191 s.f.			
TOTAL SHADE	2,886 s.f.			66%

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN"

SIGNATURE DATE 03/25/21



CITY OF ROSEVILLE APPROVAL

CONDITIONAL USE PERMIT MODIFICATION FOR WEST ROSEVILLE MARKETPLACE McDONALD'S (PARCEL 2) 1798 PLEASANT GROVE BLVD. ROSEVILLE, CA 95678

SHEET TITLE **PLANTING PLAN**

SHEET NO. **L1.1**

DATE: FEBRUARY 24, 2023



RSC ENGINEERING
1420 Rocky Ridge Drive, Suite 150
Roseville, CA 95661
Ph: 916.788.2884 Fax: 916.788.4408

PROJECT NO: 321-001
DRAWN BY: RSC Eng
CHECKED BY: RSC Eng
DESIGNED BY: RSC Eng

DATE: 03/25/21
 TIME: 12:28 PM
 FILE: 2023-02-14-12:28 PM
 PROJECT: 321-001-01-PLANTING PLAN
 DRAWN BY: J. WILSON
 CHECKED BY: J. WILSON
 DESIGNED BY: J. WILSON
 SCALE: 1"=20'-0"
 SHEET: L1.1
 TOTAL SHEETS: 1

T/ROOF TOWER
ELEV. + 34'-6"

B/ROOF EAVE
ELEV. + 31'- 3/8"

T/BLK'G @ PARAPET
ELEV. + 22'- 2"

H.P. OF ROOF
ELEV. + 14'-3 1/2"

L.P. OF ROOF
ELEV. + 13'-7 1/2"

B/CANOPY
ELEV. + 9'-4"

T/WINDOW & B/UNDERSCORE
ELEV. + 9'-1"

T/SILL
ELEV. + 2'-0"

T/SLAB
ELEV. + 0'-0"



C.L./TIEBACK
ELEV. + 11'-11"

T/WINDOW & B/CANOPY
ELEV. + 9'-4"

T/ALUMINUM BATTEN
ELEV. + 9'-3 1/2"

T/SLAB
ELEV. + 0'-0"

H.P. OF ROOF
ELEV. + 14'-3 1/2"

L.P. OF ROOF
ELEV. + 13'-7 1/2"

T/SLAB
ELEV. + 0'-0"



T/ROOF TOWER
ELEV. + 34'-6"

B/ROOF EAVE
ELEV. + 31'- 3/8"

T/BLK'G @ PARAPET
ELEV. + 22'- 2"

B/METAL PANEL
ELEV. + 11'-7 1/2"

B/CANOPY
ELEV. + 10'-11"

T/WINDOW
ELEV. + 8'-0"

T/DOOR
ELEV. + 7'-4"

T/SILL
ELEV. + 6'-0"

T/SLAB
ELEV. + 0'-0"

T/BLK'G @ PARAPET
ELEV. + 22'-2"

L.P. OF ROOF
ELEV. + 13'-7 1/2"

B/METAL PANEL
ELEV. + 11'-7 1/2"

B/UNDERSCORE
ELEV. + 10'-8"

T/WINDOW
ELEV. + 8'-0"

T/SILL
ELEV. + 3'-0"

T/SLAB
ELEV. + 0'-0"



T/ROOF TOWER
ELEV. + 34'-6"

B/ROOF EAVE
ELEV. + 31'- 3/8"

T/PARAPET
ELEV. + 22'-2"

C.L./TIEBACK
ELEV. + 14'-5"



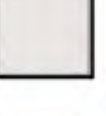
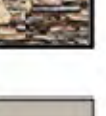
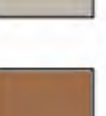



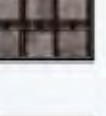
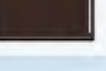
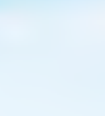
B/CANOPY
ELEV. + 10'-11"

T/WINDOW
ELEV. + 8'-0"

T/SILL
ELEV. + 3'-0"

T/SLAB
ELEV. + 0'-0"

Materials Legend

-  Stucco (Upper wall)
"City Loft" SW 7631
-  Stucco (Lower wall)
"Perfect Greige" SW 6073
-  Stucco (Middle Wall)
"Alpaca" SW 7022
-  Stone Veneer (Wainscot)
"Coronado Stone"
-  Service Doors
"Perfect Greige" SW 6073
-  Cornice/ Band
"Burnished Brandy" SW7523
-  Aluminum Canopy (Prefinished Metal)
"White"
-  Aluminum Trellis (Prefinished Metal)
"RAL 7022"
-  Underscore (Prefinished Metal)
"Yellow"
-  Roof Tiles
"Saxony 900 Slate-Appalachian Blend" Newpoint
-  Storefront & Gooseneck Lights
"Dark Bronze"

T/ROOF TOWER
ELEV. + 34'-6"

B/ROOF EAVE
ELEV. + 31'- 3/8"

T/BLK'G @ PARAPET
ELEV. + 22'- 2"

L.P. OF ROOF
ELEV. + 13'-7 1/2"

C.L./TIEBACK
ELEV. + 12'-1"

T/WINDOW & B/CANOPY
ELEV. + 9'-4"

T/WINDOW & B/UNDERSCORE
ELEV. + 9'-1"

T/SILL
ELEV. + 2'-0"

T/SLAB
ELEV. + 0'-0"



T/BLK'G @ PARAPET
ELEV. + 20'- 7"

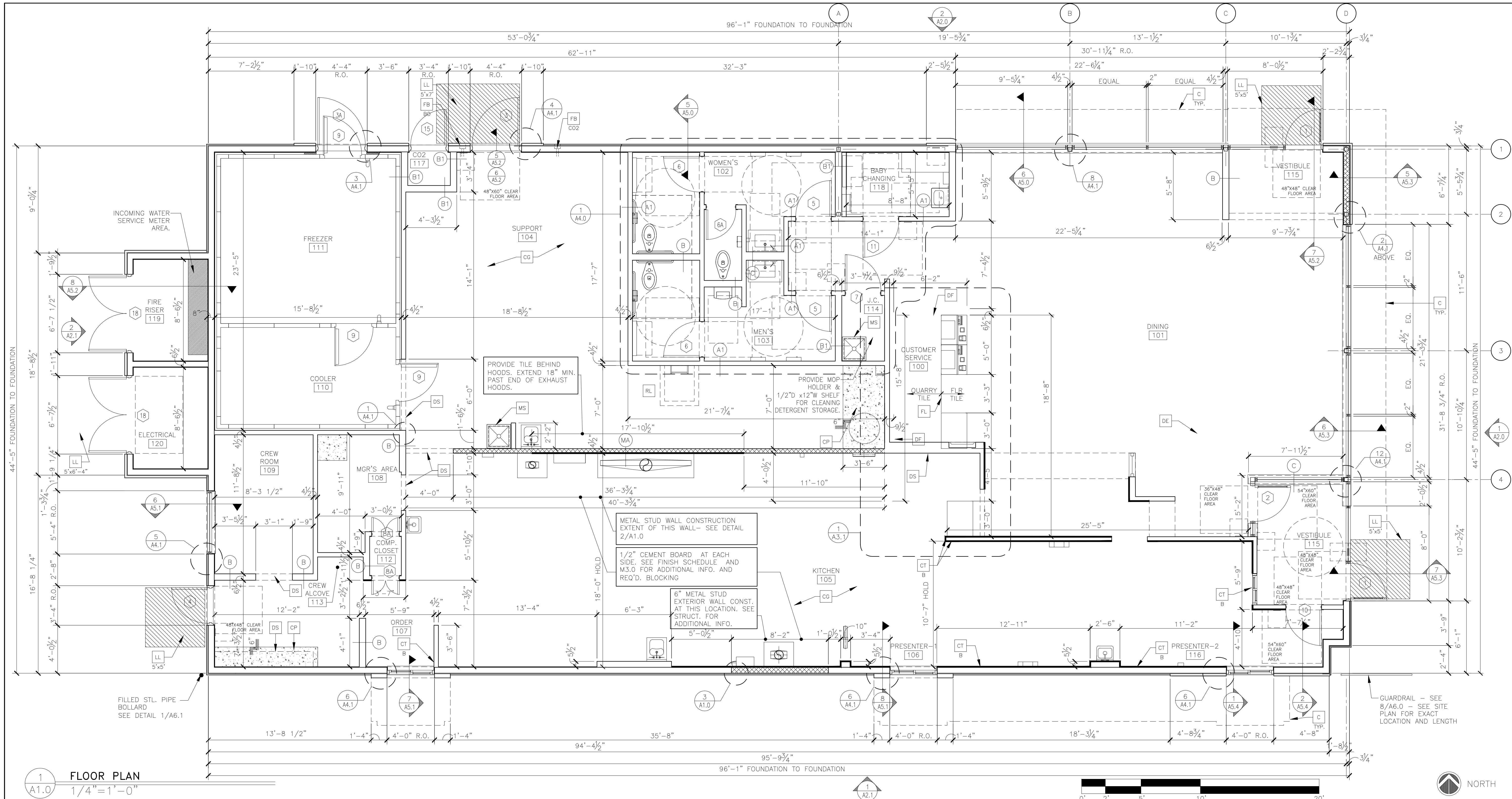
B/METAL PANEL
ELEV. + 11'-7 1/2"

B/SOONCE
ELEV. + 9'-4"

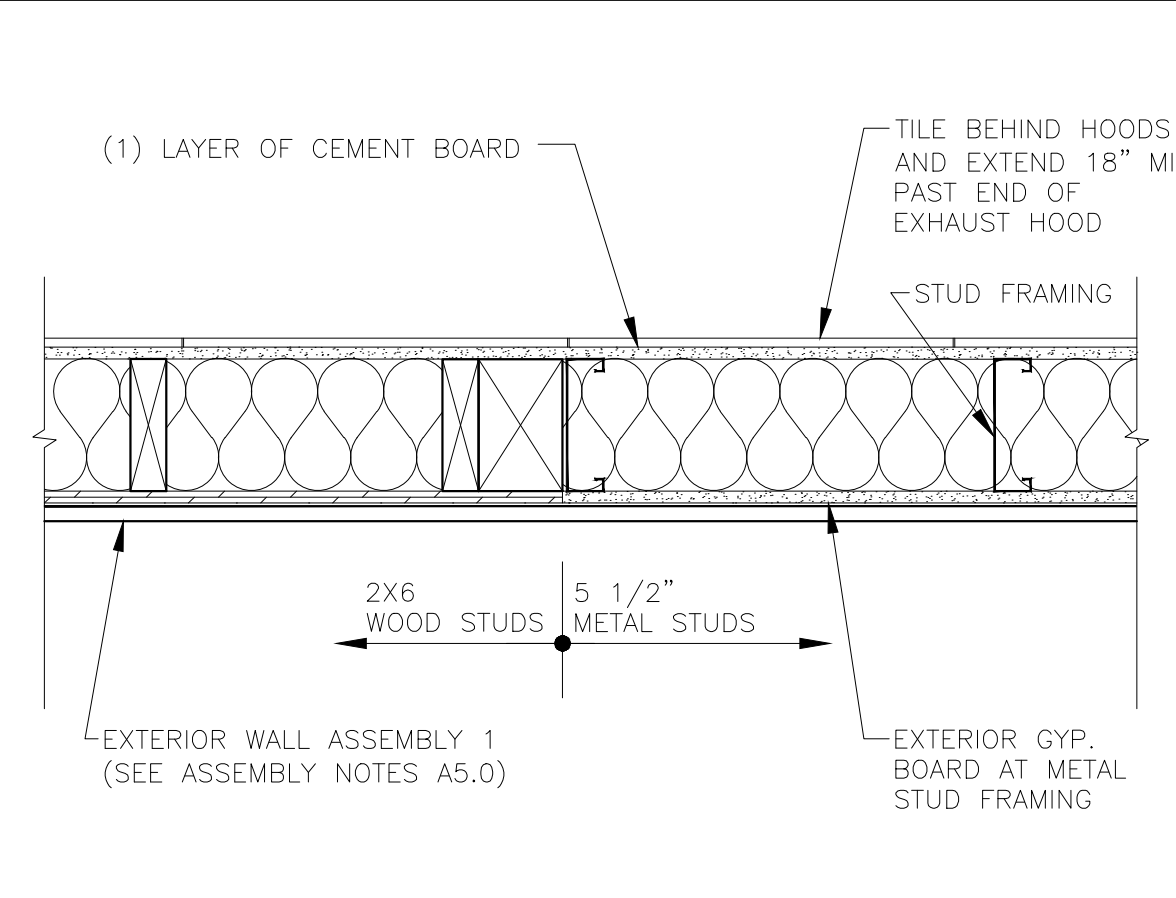
T/DOOR
ELEV. + 7'-4"

T/SLAB
ELEV. + 0'-0"

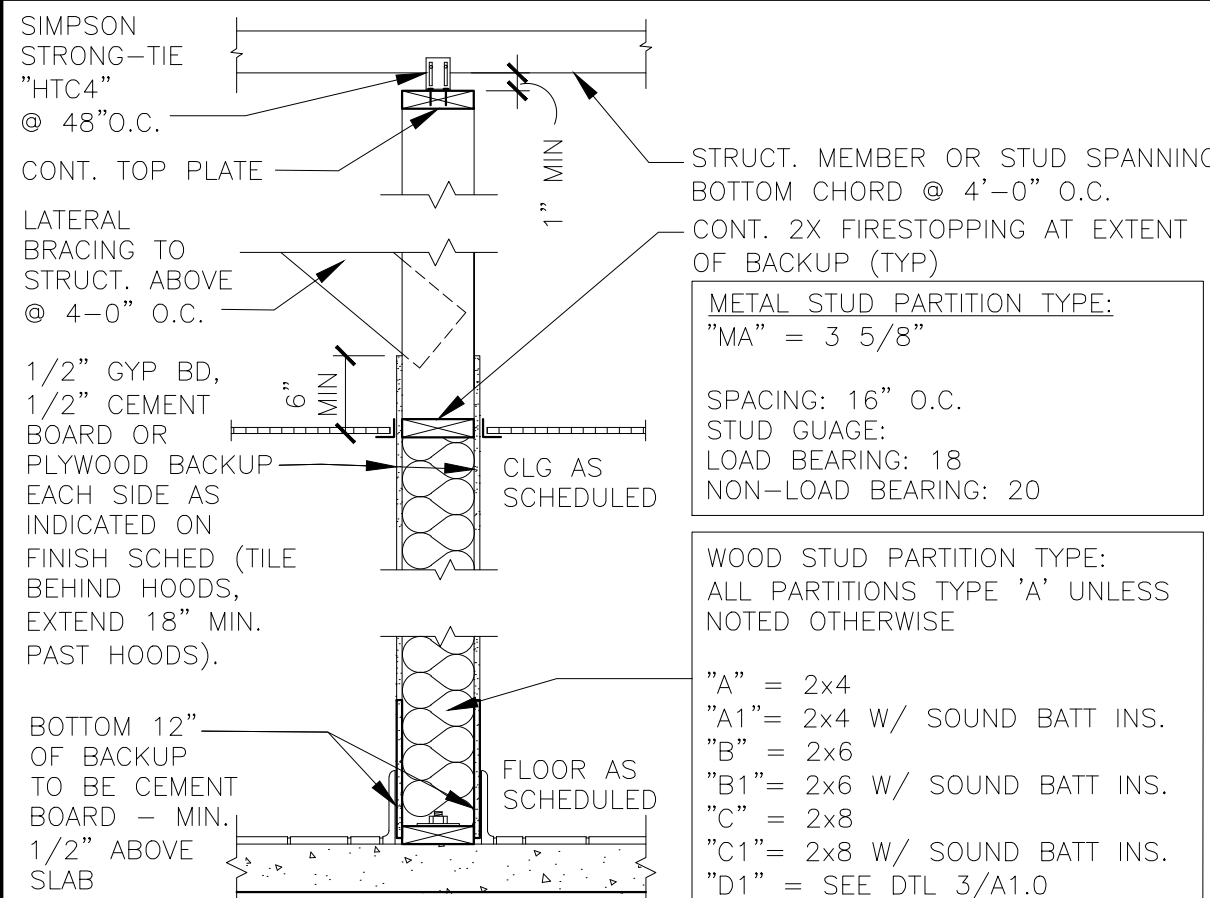




1 FLOOR PLAN
1/4" = 1'-0"



3 TRANSITION DETAIL
1 1/2" = 1'-0"



2 INTERIOR PARTITION
3/4" = 1'-0"

KEY NOTES

- ALUMINUM CANOPY SYSTEM ABOVE - SEE 4/A5.0 FOR NOTES - SEE ROOF PLAN FOR DIMENSIONS, SEE ELEVATION FOR COLORS AND FASCIA LOCATIONS
- G.C. TO PROVIDE 4"x4"x5'-0" HIGH STAINLESS STEEL CORNER GUARDS AT ALL EXPOSED LOCATIONS IN KITCHEN/SUPPORT AREA. CORNER GUARDS TO START AT FINISH FLOOR. ATTACH WITH WOOD SCREWS INTO WOOD BLOCKING BULLNOSE COVE BASE WHERE TILE MEETS STAINLESS STEEL CORNER
- CONCRETE EQMT PAD - SEE STRUCTURAL
- WALL TILE: CROSSVILLE - COLOR BY NUMBERS
COLOR: INTUITIVE GRAY, SIZE: 4"x12", PATTERN: RUNNING BOND
GROUT: MAPEI O2 FEWTER - JOINT TO BE 3/8" MAX.
USE THIS TILE WHEN HIGH LRV IS REQUIRED
COORDINATE WITH McDONALD'S AREA CONSTRUCTION MANAGER
- DECOR ELEMENT - VERIFY SIZE AND PLACEMENT WITH DECOR PLANS
- DECOR FINISH TO BE ORDERED/INSTALLED BY GC AND MANUFACTURED BY DECOR; REFER TO PORTFOLIO.
- DROPPED SOFFIT ABOVE - SEE REFLECTED CEILING PLAN
- CO2 FILL BOX (EQUIPMENT SCHEDULE ITEM 49.00)
- OPTIONAL BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18) CONFIRM USE WITH McDONALD'S AREA CONSTRUCTION MANAGER

- FLOOR LINE - CHANGE IN MATERIAL - SEE DECOR DRAWINGS
- FIBERGLASS REINFORCED PLASTIC (FRP) - PANOLAM, GRAY SMOOTH, CLASS A, .075. REFER TO ROOM FINISH SCHEDULE SHEET A6.1 FOR INSTALLATION LOCATIONS. FOR ORDERING, CONTACT KIMBERLY LAWSON Kimberly.Lawson@panolam.com 1-866-925-4377
- LEVEL LANDING @ EXT. DOOR W/ MAX. 2% RUNNING/CROSS SLOPE AWAY FROM BUILDING
- SIZE OF LANDING
- MOP SINK - SEE DETAIL 8/A6.1 AND PLUMBING DRAWINGS.
- ROOF ACCESS LADDER W/HATCH ABOVE SEE STRUCTURAL FRAMING PLAN FOR LOCATING DIMENSIONS

SYMBOL LEGEND

- (A) PARTITION TYPE TAG SEE 2/A1.0
- (7) DOOR TAG - SEE DOOR SCHEDULE ON A6.0
- (X) KEY NOTE

GENERAL NOTES

- EXTERIOR DIMENSIONS ARE TO COLUMN REFERENCE LINES AND EXTERIOR FACE OF MASONRY UNLESS OTHERWISE NOTED. INTERIOR DIMENSIONS ARE TO FACE OF INTERIOR WALL BOARD
- SEE 4/A5.0 FOR EXTERIOR WALL ASSEMBLY TYPES. SEE 2/A1.0 FOR INTERIOR PARTITION TYPES. INTERIOR PARTITIONS ARE TYPE 'A' UNLESS NOTED OTHERWISE.
- SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES
- SEE SHEET A6.0 FOR DOOR AND ROOM FINISH SCHEDULES
- SEE SITE PLAN FOR SIDEWALKS, RAMPS, ETC.
- GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FRANKE/S2K 1-800-423-5247 www.franke.com email: fs-frankesupply.us@franke.com
- MAXIMUM OCCUPANCY SIGN TO BE POSTED PER LOCAL CODE. SIGN FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
- ALL HANDSINK LOCATIONS SHALL HAVE CEMENT BOARD BACKING 48" IN HEIGHT A.F.F.
- GC TO COORDINATE ALL REQUIRED BLOCKING FOR WALL HUNG EQUIPMENT, SHELVES, ETC. FOR PROPER INSTALLATION HEIGHTS.
- KNOX BOX TO BE INSTALLED PER LOCAL CODE AS REQUIRED. MODEL AND LOCATION TO BE COORDINATED WITH FIRE MARSHALL.

REV	DATE	DESCRIPTION

CORE STATES GROUP
426 Egan Avenue Street
Orange, CA 92660
www.corestates.com

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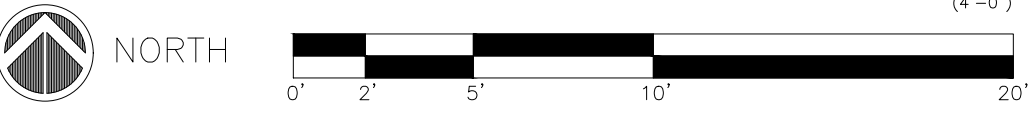
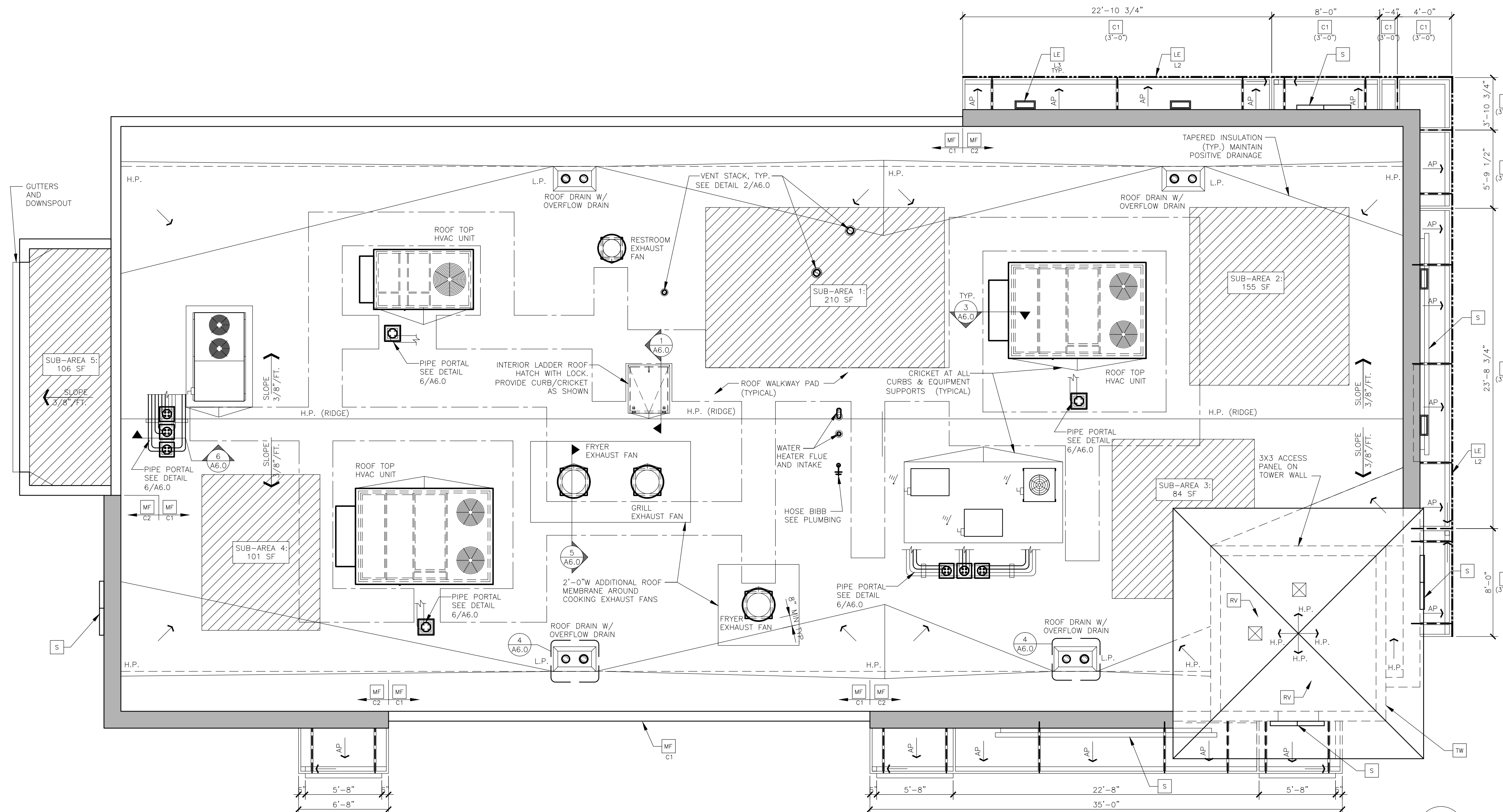
DRAWN BY	B-ABDALLA
STD. ISSUE DATE	2023-01
REVIEWED BY	M.FELINI
DATE ISSUED	01/24/2023
C.S.G. PROJECT #	MCD.349.24

TITLE: 2022 STANDARD BUILDING - BB20
DESCRIPTION: 4597 - WOOD/WOOD

WOOD BEARING WALLS W/ STUCCO EXTERIOR FINISH
WOOD ROOF TRUSS FRAMING
E.L.F.S./BATTEN/PANEL/HARDEE PLANK EXTERIOR FINISH
SITE ID: 1760 PLEASANT GROVE BLVD., ROSEVILLE, CA 95747

SHEET NO. 004-5082
A1.0
FLOOR PLAN

CITY OF ROSEVILLE APPROVAL



1 ROOF PLAN
A1.3 3/16" = 1'-0"

- ### LEGEND
- L.P. LOW POINT
 - H.P. HIGH POINT
 - ← DIRECTION OF DRAINAGE
 - ← AP TRELLIS SYSTEM WITH ALUMINUM INFILL PANELS. SLOPE TO EDGE @ 1/4" PER FT.
 - [Hatched Box] SOLAR READY AREA PER NRCC-SRA-02-E MINIMUM SOLAR ZONE AREA. TOTAL ROOF AREA: 4768 SF. MINIMUM SOLAR ZONE AREA: 716 SF. SOLAR ZONE AREA PROVIDED: 728 SF TOTAL. SUB AREA 1: 210 SF. SUB AREA 2: 155 SF. SUB AREA 3: 95 SF. SUB AREA 4: 101 SF. SUB AREA 5: 106 SF.

- ### KEY NOTES
- C1 ALUMINUM CANOPY SYSTEM W/ FASCIA (COLOR: SEE ELEVATIONS)
 - C2 ALUMINUM CANOPY SYSTEM (COLOR: SEE ELEVATIONS)
 - GB CABLE ROOF (SEE ELEVATIONS)
 - LE ACCENT LIGHTING - SEE ELEVATIONS & ELECTRICAL
 - L1-LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE
 - MF METAL FASCIA
C1-COLOR:
C1 = SEE ELEVATIONS FOR COLOR
 - S McDONALD'S SIGNAGE BY OTHERS UNDER SEPARATE PERMIT (SEE ELEVATIONS)
 - TW TOWER (SEE ELEVATIONS)

- ### ROOFING NOTES
1. SINGLE-PLY ROOFING SYSTEM WITH BASE FLASHING SHEET EXTENDING UP PARAPET AND TERMINATED UNDER COPING HOT WELDED TO SEALING STRIP SECURED TO WOOD BLOCKING
 2. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND PER DETAIL 2 OF THIS SHEET.
 3. PROVIDE PREFABRICATED METAL CURBS. COORDINATE SIZE, LOCATION AND INSTALLATION REQUIREMENTS W/ M, E, P & S SHEETS. PROVIDE SHIMS TO LEVEL CURB AREAS WHERE ROOF DECK IS PITCHED.
 4. FOR EXACT LOCATION OF EXHAUST FANS, HVAC UNITS, AND ROOF HATCH. REFER TO STRUCTURAL DRAWINGS.
 5. CRICKETS MUST BE INSTALLED AT ALL ROOF CURBS & EQUIPMENT PLATFORMS BY GENERAL CONTRACTOR.

NO.	REV	DATE	DESCRIPTION

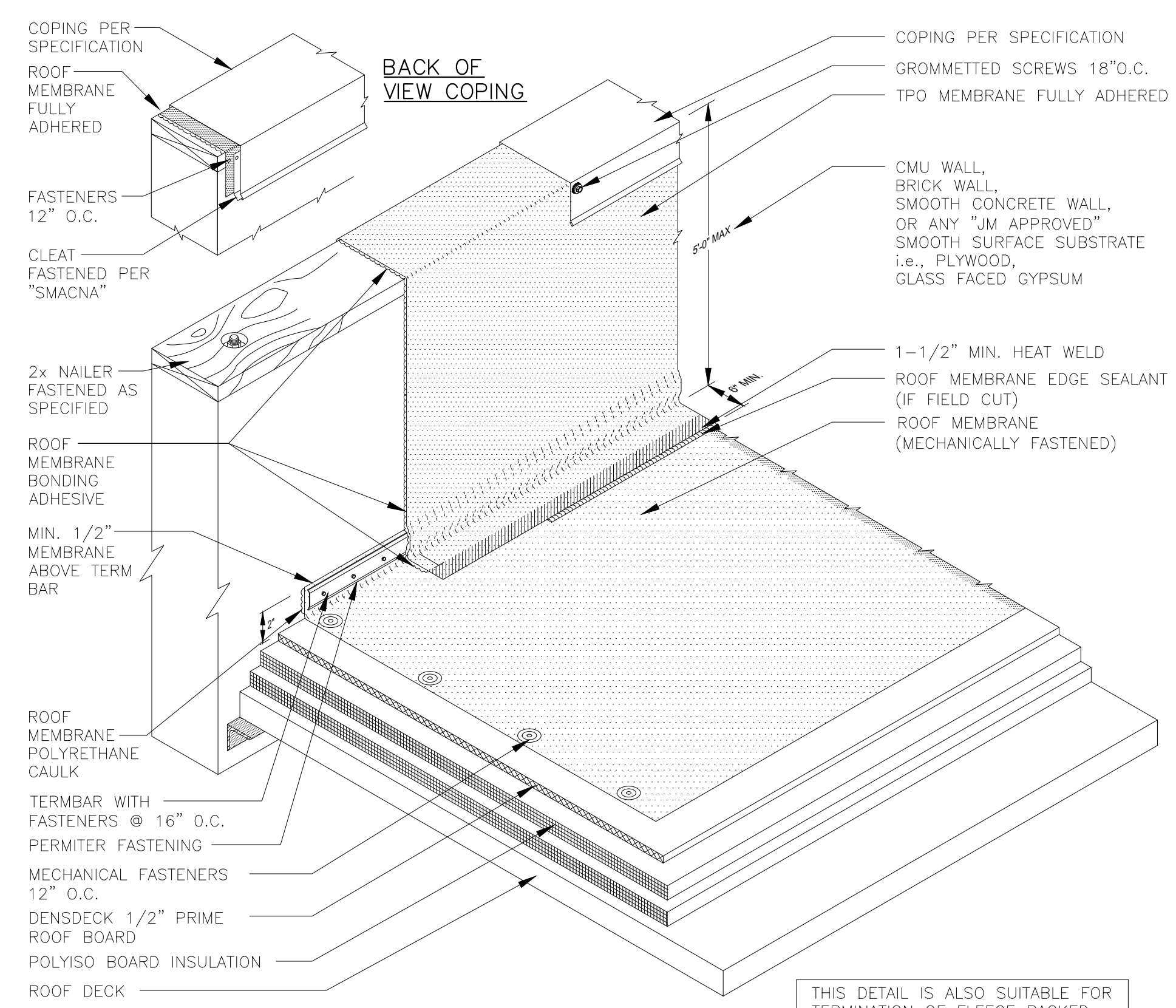
PREPARED BY: CORE STATES GROUP
426 East Juvado Street
Orange, CA 92660
corestates.com

9/13/23

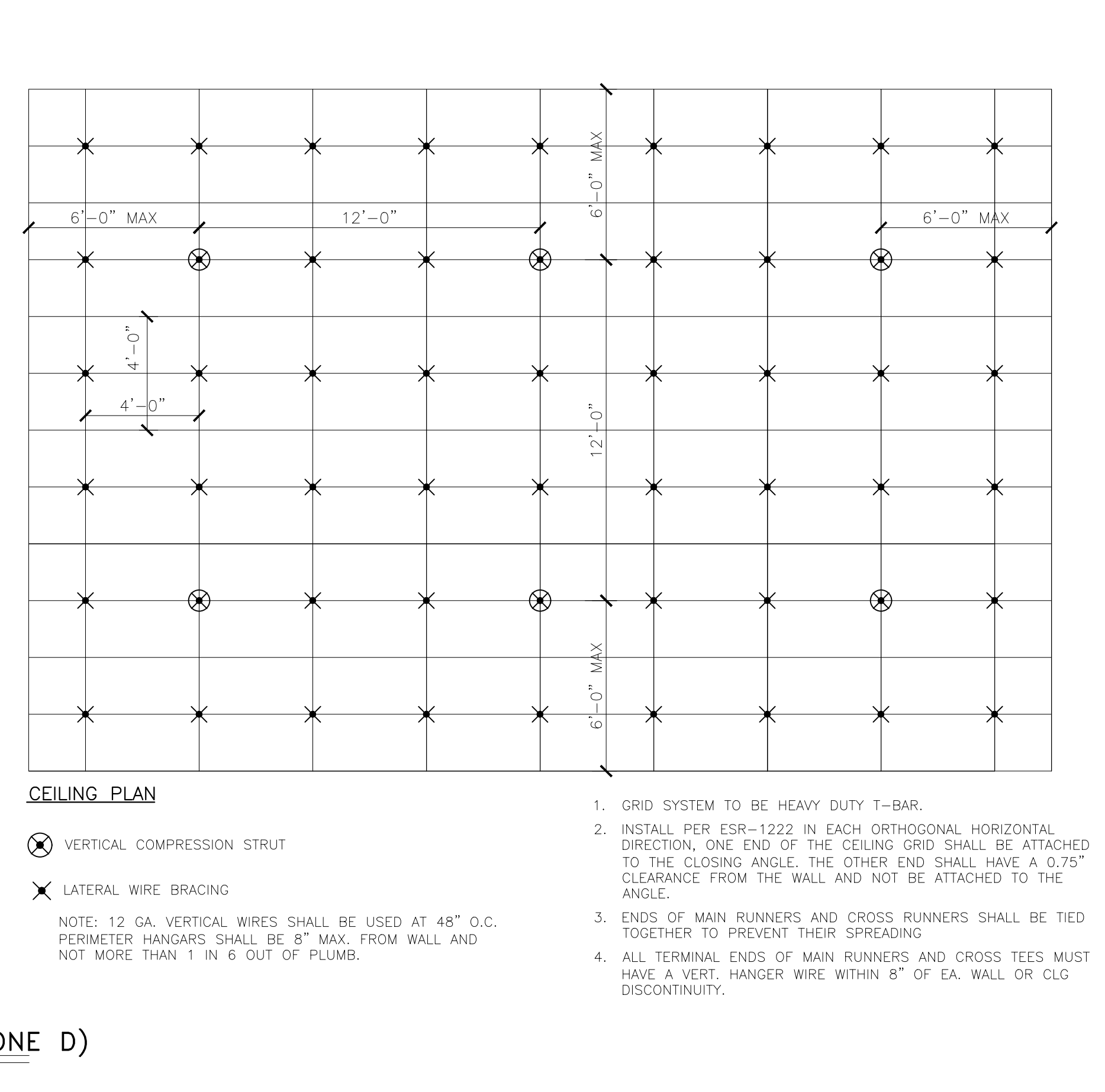
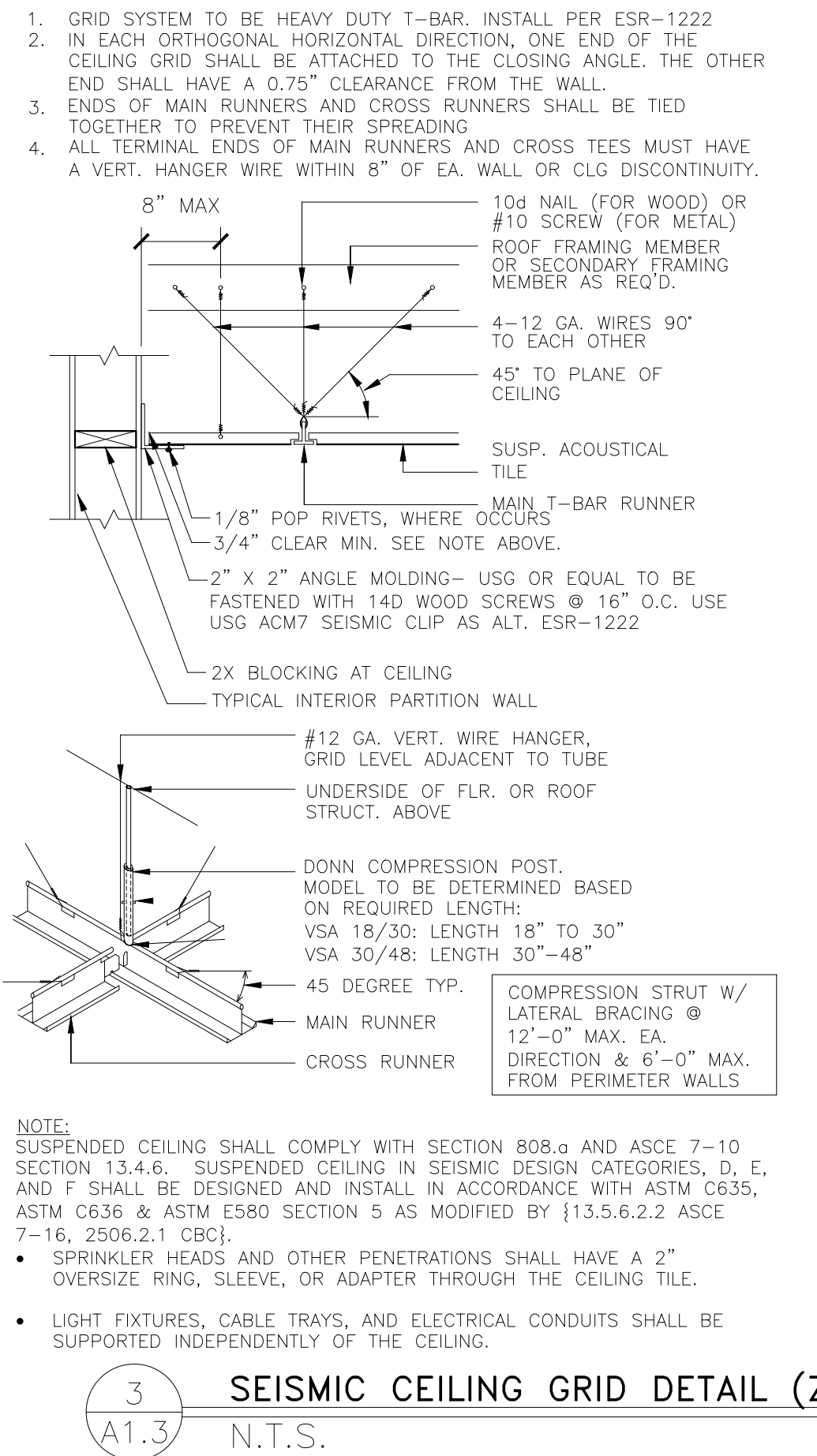
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PROJECT # MCD.349.24
C.S.G. PROJECT # MCD.349.24



- ### ROOFING SYSTEM
1. MANUFACTURERS AND PRODUCTS:
A. DURO-LAST PVC ROOFING SYSTEM
B. JM-PVC. REFER TO JOHNS MANVILLE WEBSITE (www.jm.com) FOR MOST UP-TO-DATE INFORMATION.
NO SUBSTITUTIONS ALLOWED
 2. SPECIFIED ROOFING SYSTEMS (AS SHOWN):
HEAT-WELDABLE SINGLE-PLY 50 MIL PVC ROOFING SYSTEM, INSTALLED OVER RIGID INSULATION ON WOOD ROOF DECK HAVING A SLOPE OF 3/8"/FT. MATERIALS SHALL BE AS FOLLOWS:
A. SINGLE-PLY ROOFING SYSTEM AS MANUFACTURED BY MANUFACTURER LISTED ABOVE TO COMPLY WITH ASTM E 108 OR UL 790, ASTM D-6878, AND FMG I-90 FOR WIND UPLIFT.
B. FASTENERS: METAL FASTENERS AND PLATES AS PER MANUFACTURER.
C. ACCESSORIES: PRE-FABRICATED CURBS, FLASHING, CORNERS, TERMINATION BARS, PIPE FLASHING, VENT FLASHING ETC. AS PER MANUFACTURER.
D. PLEASE SEE SINGLE-PLY FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.
E. ANY CARPENTRY OR METAL WORK SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND/OR PROJECT SPECIFICATIONS. THESE COMPONENTS SHOULD BE REVIEWED AND APPROVED BY A LICENSED DESIGN PROFESSIONAL. CONTACT MANUFACTURER FOR METAL OPTIONS TO BE INCLUDED WITHIN THE MANUFACTURER'S GUARANTEE.
F. ROOF MEMBRANE EDGE SEALANT IS REQUIRED ON ALL CUT OR NON-ENCAPSULATED EDGES OF REINFORCED MEMBRANE. THIS INCLUDES FACTORY CUT MEMBRANE.
 3. WALKWAYS:
A. 30" WIDE WALKWAY ROLL, HOT AIR WELDED TO MEMBRANE.
B. PROVIDE WALKWAY FROM ROOF LADDER EXIT TO ALL ROOF TOP EQUIPMENT AS PER ROOF PLAN ABOVE.
C. INSTALL WALKWAY ACCORDING TO WALKWAY PAD MANUFACTURER'S WRITTEN INSTRUCTION.
 4. RIGID INSULATION:
PROVIDE REQUIRED LAYERS OF POLYISOCYANURATE INSULATION W/ 1/2" "DENSDECK" COVER BOARD TO MEET A MINIMUM CONTINUOUS R-25 VALUE - THICKNESS AS REQUIRED. PROVIDE POSITIVE SLOPE TO ALL ROOF DRAINS. SEE ROOF PLAN. PROVIDE TOP LAYER PROTECTION MATERIAL AS PER MANUFACTURER'S RECOMMENDATIONS. BOTTOM LAYER OF INSULATION TO HAVE INTEGRAL THERMAL BARRIER OR APPROVED ROOFING MANUFACTURER'S THERMAL UNDERLAYMENT SHEET. ASSEMBLY SHALL COMPLY WITH UL 1256 OR FMG 4450 AND ASTM C 1289, TYPE I OR II.
 5. TAPERED INSULATION:
PROVIDE TAPERED INSULATION AS REQUIRED FOR POSITIVE DRAINAGE TO ROOF DRAINS AS INDICATED PER ROOF PLAN ABOVE. 1/4" PER FOOT MIN. REQUIRED.
 6. EXHAUST FANS:
PROVIDE ADDITIONAL LAYER OF ROOF MEMBRANE AROUND EXHAUST FANS AS INDICATED PER ROOF PLAN ABOVE.



2 ROOFING SYSTEM
A1.3 N.T.S.

3 SEISMIC CEILING GRID DETAIL (ZONE D)
A1.3 N.T.S.

2023 STANDARD BUILDING - BB20
4597 - WOOD/WOOD

DESCRIPTION: WOOD BEARING WALLS W/ STUCCO EXTERIOR FINISH, WOOD ROOF TRUSS FRAMING, E.L.F.S./G.I.B./METAL PANEL/HARDIE PLANK EXTERIOR FINISH

004-5082
A1.3 ROOF PLAN

CITY OF ROSEVILLE APPROVAL

